

PORTFOLIO 1530

DESIGN GUIDELINES

September 2025

Lot A - 1524 Reservoir Road

PORTFOLIO



EKISTICS

A RETURN TO FORM

ABOUT THE DESIGN GUIDELINES

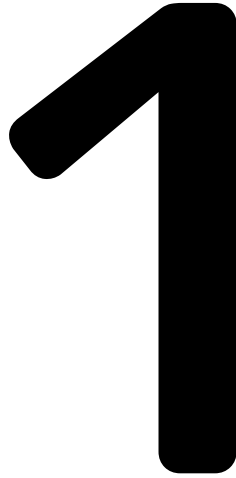
This Guide aspires to cultivate a sense of cohesion and harmony within the community. The place we shape is as much a legacy for us as it is for those who choose to call it home. While lengthy, its purpose is to provide clear, elegant guidance, not unnecessary complexity.

This Guide is not a rigid rulebook but a framework to support the design process. Its role is to inspire thoughtful decisions and ensure projects are in dialogue with the land, the architecture, and the community. When proportion, materiality, and sensitivity to site are well considered, these Guidelines will be easily achieved.



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PORTFOLIO 1530
VISION



PRINCIPLES

ARCHITECTURE + ENVIRONMENT

Rooted in respect for the land, our architecture embraces raw, enduring materials that weather gracefully, revealing their authenticity through time.

Less is more

By choosing less, we create more — more beauty, more care for the planet, more meaningful experiences.

This principle shapes our approach to architecture, neighborhood planning, environmental preservation, parkland, active living, and design guidelines.

Naturally Integrated

Every home will be shaped by its landscape, creating harmony with nature.

Our guidelines shape building sites that follow the natural topography, seamlessly integrating with the landscape while preserving mature trees and vegetation.

Timeless Aesthetic

We craft spaces of timeless beauty and practicality, creating refined living that endures for generations.

Our guidelines embrace timeless architecture and traditions, with generous Homesites that preserve environmental and financial value for generations.



PRINCIPLES

Materially Good

Authentic, natural materials that age gracefully with time and the land.

From roads to building sites, our plan follows the land's contours and forests, preserving topography and vegetation.

Sustainable Stewardship

Water, land, and trees are precious resources, we respect conservation.

Conservation is central to our vision, with vegetation, trees, ravines, rock outcrops, and wildlife corridors preserved as lasting elements of the community's legacy.

You Are Here

The location exudes an immediacy that grounds you in the present, capturing the South Okanagan.

Cultural and historical influences shape our planning, weaving local traditions, seasonal character, and native landscapes into wildlife corridors and conservation areas.

Quality designs, builds and relationships

Great places begin with great foundations set by the best in field professionals.

We have hand-picked local designers and builders with proven track records, who align with our principles.

Deep-Seated Growth

Building connections that endure, both in community and in the land.

Homeowners can plant deep roots within the strata community while engaging in the broader Penticton and Naramata Bench.

Looking Forward While Honouring the Past

We merge legacy and community, honoring the past while safeguarding the future.

Each home is a chapter in a shared story, blending with history to create a legacy for future generations.



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PORTFOLIO 1530

SITE DEVELOPMENT GUIDELINES

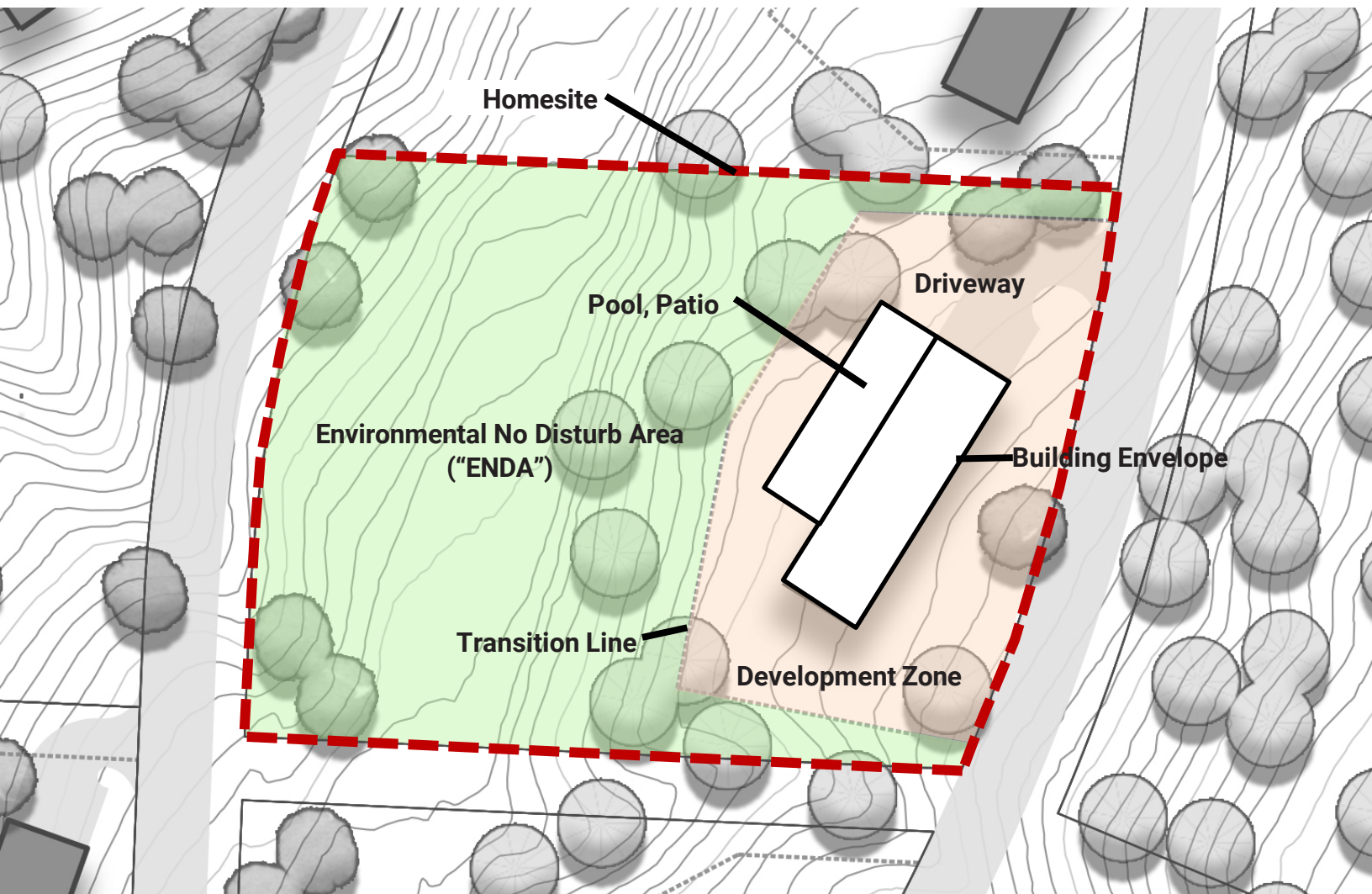
SITE DEVELOPMENT GUIDELINES

Homesites must:

- Maintain design excellence in all improvements
- Work with topography to reduce visual impact and enrich the community experience
- Preserve and enhance natural landscapes and long-range views
- Create outdoor spaces that seamlessly extend indoor living
- Use natural planting, structures, and details that reflect local context
- Owners must retain a Preferred Designer/Architect and Builder, or submit an alternative professional for DRC review and approval, which may require a portfolio and resume demonstrating relevant experience.
- All buildings and landscape improvements are subject to Design Review Consultant (“DRC”) review, with submission and review procedures outlined in Section 5.



Reference Terms, Zones and Areas



HOMESITE

A homesite refers to the full extent of the property, defined by its legal boundaries. Homesites are positioned to maximize views of the Naramata Bench, Okanagan Valley, and Okanagan Lake, while maintaining internal views that shape neighbourhood character. Natural features such as rock outcroppings and significant trees should be carefully integrated into site improvements.

Given the community's prominent setting overlooking the Naramata Bench and its visibility from surrounding roads and homes, thoughtful siting and arrival sequences are essential. For setbacks, maximum roof elevations, and preservation of view planes and corridors, see Section 3, Architectural Design Guidelines.

DEVELOPMENT ZONE

The Development Zone defines where homes and landscape improvements may occur, while areas beyond it are Environmental No Disturb Zones requiring DRC approval. Zone edges should transition planting and irrigation to the natural landscape using elements like dry-stack walls, curbs, or changes in vegetation. Long permanent walls or fences are discouraged unless DRC-approved and consistent with Section 3 guidelines.

BUILDING ENVELOPE

The Building Envelope, located within the Development Zone, defines where home construction may occur and is established through the design process. Its size and perimeter are shaped by site conditions, access, privacy, views, vegetation, and DRC requirements. Setbacks and envelopes are shown on the Homesite Plan but may be adjusted by the DRC to ensure a site-adaptive footprint that responds to natural landforms. Final building footprints must be defined by the Owner and Architect within the approved envelope and are subject to DRC approval.

ENVIRONMENTAL NO DISTURB AREAS

The Environmental No Disturb Area (ENDAs) lies outside the Development Zone and typically covers most of each homesite. Established by the DRC to protect sensitive features such as slope edges or high-value landscapes, the ENDA may be registered on title as a covenant. No improvements or use are permitted without written DRC approval. If improvements are allowed, construction must be minimized and disturbed areas remediated per Section 4, Landscape Guidelines.

EASEMENTS AND RIGHTS OF WAYS

Easements, Restrictive Covenants, Statutory Rights of Ways and other encumbrances on the homesites are described in the Purchase and Sales Agreement. Approval from the DRC may be required for improvements near these encumbrances.

SITE DRAINAGE

Homesite drainage must follow these principles:

- Capture water as close to where it falls as possible
- Avoid concentrated runoff, erosion, and sediment transport
- Control peak stormwater discharge to pre-development levels
- Do not direct runoff toward buildings

A stormwater management plan, sealed by a registered professional, is required. The Owner must ensure compliance with City of Penticton bylaws and provide a copy to the DRC.

Best practices should guide system design, preserving natural drainage patterns where feasible and mitigating impervious surfaces to protect hydrology. Stormwater must not be diverted to adjacent properties. Design must reference the geotechnical report and applicable City bylaws.



STREETS

The street provides vehicular and pedestrian access, with clearly defined driveways. Homesite entries should be enhanced with landscape, monumentation, or wall treatments.

PARKING

Parking must follow City of Penticton bylaws. It is recommended that each home has at least two enclosed garage spaces. Resident parking is limited to garages or driveways, and visitor parking must meet bylaw standards. Exterior storage of RVs, boats, trailers, or similar equipment is prohibited unless screened per DRC approval.

DRIVEWAYS + GARAGES

Driveways must serve at least a two-vehicle garage and comply with City bylaws. Garages should minimize visual impact; doors should avoid facing the street, or if they do, be well-integrated with quality materials. Driveways must not disrupt street drainage and may use asphalt, exposed aggregate, stained or textured concrete, masonry, or durable pavers. Heated driveways are not permitted unless all runoff is retained on-site with engineered design.

WALKWAYS

Walkways may use pavers, exposed aggregate, patterned or poured concrete, with optional brick or stone accents. Alternatives and all colours require DRC approval, with colours to remain natural.

SITE GRADING

To preserve the site's natural character, grading should reflect the irregularity of surrounding hillsides. Major cuts, fills, or grade changes over 1.5 m should be minimized. Homesites must drain water away from foundations, using catch basins, detention ponds, swales, or vegetated facilities as required. Driveway and adjacent drainage must be directed to catch basins or combined with swales and ponds.

GEOTECHNICAL CONDITIONS

The Owner shall be required to retain a BC licensed Geotechnical Engineer to examine, test and certify geotechnical conditions on the homesite prior to undertaking any design or construction.

SWIMMING POOLS + HOT-TUBS

Swimming pools and hot-tubs require approval from a BC Licensed Geotechnical Engineer, the City, and the DRC. They should be visually tied to the home and landscape using walls, courtyards, or plantings, with siting carefully reviewed near adjacent homes. DRC submissions must include siting, sections, elevations, and equipment rooms or vaults with solid doors to screen equipment. Pools must meet all government regulations, including barriers and gates, and drainage must be de-chlorinated and discharged per City of Penticton requirements.

RECREATIONAL EQUIPMENT

Basketball hoops and other recreational equipment require DRC approval and should be screened from public areas and neighbouring homesites.

EXTERIOR LIGHTING

To preserve dark skies while ensuring safety, all exterior lighting requires DRC approval through a lighting package. Streets will rely on borrowed light from homes rather than poles. Garage and entry lights may provide safety and wayfinding, while accent lighting for signs, landscaping, or architecture must be DRC-approved. Fixtures must use cut-off luminaires focused downward to prevent glare; coloured bulbs and plastic fixtures are discouraged. Daylight sensors, solar options, and energy-efficient LEDs are encouraged. Holiday lights are permitted but must be removed by January 10.



SCREEN WALLS

Screen walls must extend the home's architecture and materials, defining outdoor spaces while preserving light, air, and street connection. They should not mark long setback or property lines and must be attractive on both sides, with stepped or staggered forms for visual interest. Materials must follow Section 3 guidelines; chain link, railway ties, and lattice are not permitted unless DRC-approved. Concrete, stucco, and stone walls must finish to grade.

RETAINING WALLS

Site grading should follow natural landform, with stepped landscapes and building masses that blend with surroundings. In the Development Zone, 2:1 slopes are encouraged (subject to professional engineer). Retaining walls should not define long property or setback lines, nor run parallel at uniform heights. Walls over 1.2m must be stepped with planters at least half the wall height. Feature walls with creative design and materials may have more flexibility. All retaining and feature walls require DRC approval.



EXTERIOR SERVICE AREAS

All garbage containers, mechanical equipment, and service facilities must be screened from streets, paths, and nearby homesites. Fuel and water tanks or similar storage must also be shielded by walls or other improvements approved by the DRC.

LANDSCAPE STRUCTURES

Pergolas, trellises, screens, and gates that extend the architecture are encouraged. Pavilions and decks must be within the Development Zone, outside the ENDA, and must meet City regulations. Materials and colours should complement the home to maintain community character. Each home will feature a stone or board-form concrete wall with a lit address marker. To establish a strong entry, garden walls, screens, and gates should layer spaces with flow and enclosure. Long linear structures such as fences or screens along property or setback lines are not permitted.



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PORTFOLIO 1530

ARCHITECTURE
DESIGN
GUIDELINES

ARCHITECTURE DESIGN GUIDELINES

These Architectural Guidelines are meant to illustrate intent rather than prescribe exact forms or materials, establishing a flexible yet cohesive design language for Portfolio 1530. Architecture should respond to site and context, making the most of views, orientation, and the natural setting. The Guidelines allow variety while respecting climate, landscape, and neighbourhood character. The DRC will work with designers to achieve these goals and may reject proposals that do not align with the community's aesthetic vision. Technical compliance alone does not ensure approval.





ARCHITECTURAL PRINCIPLES

In line with the vision for Portfolio 1530, the architectural principles promote sustainable living, embracing the natural surroundings and celebrating the beauty of the Naramata Bench hillside. Material choices, functionality, and design all aim to integrate homes seamlessly with the forested landscape. Homes will follow these guiding principles:

- Honour the site's unique qualities and blend dwellings with the land.
- Value simplicity and eco-consciousness, creating refined, enduring spaces.
- Use raw, honest materials that weather gracefully with the environment.
- Design with the warm, dry climate and micro-climate of sun, wind, and rain in mind, following FireSmart BC guidelines.
- Capture valley, benchland, and lake views while balancing harmony with the natural setting.

Refer to the FireSmart BC guide for information and guidelines. <https://firesmartbc.ca/>

Refer to Appendix B for an illustration from FireSmartBC on "Tips to FireSmart Your Home."

BUILDING SITING

Building siting should work with the landform to integrate with the landscape, provide privacy, and capture long-range views. Setbacks define buildable areas, though the DRC may adjust requirements. Footprints must respect setbacks, while terraces and patios may extend beyond the footprint but not outside Development Zones. All such improvements require DRC approval and must meet City bylaws.

HOME SIZE

Maximum building footprints shall be limited to 3,000 sq.ft. or 30% coverage of the homesite, not including driveways, pathways and/or other hardscape surfaces.

BUILDING HEIGHT

Building heights are recommended to two storeys to preserve views and minimize environmental impact, though the DRC may approve three storeys in specific cases on certain lots.

MAXIMUM ROOF HEIGHT

Homes must not exceed the roof plane elevation that protects neighbouring views and avoids imposing forms. Chimneys are exempt, but irregular lots may require case-by-case DRC approval.

The maximum overall height is 10.5m (34'6"), per Penticton's Country Residential Zoning, measured as per the City of Penticton Zoning Bylaw. Designers or Owners must confirm compliance with the DRC.

These guidelines discourage large, dominant building forms and ensure view protection. The DRC may require adjustments or, in some cases, approve over-height designs.



SPECIAL DESIGN CRITERIA

Some homesites with unique challenges, high visibility, or environmental constraints may require special design solutions to reduce visual impact and better integrate with site conditions. These will receive additional DRC consideration and review.

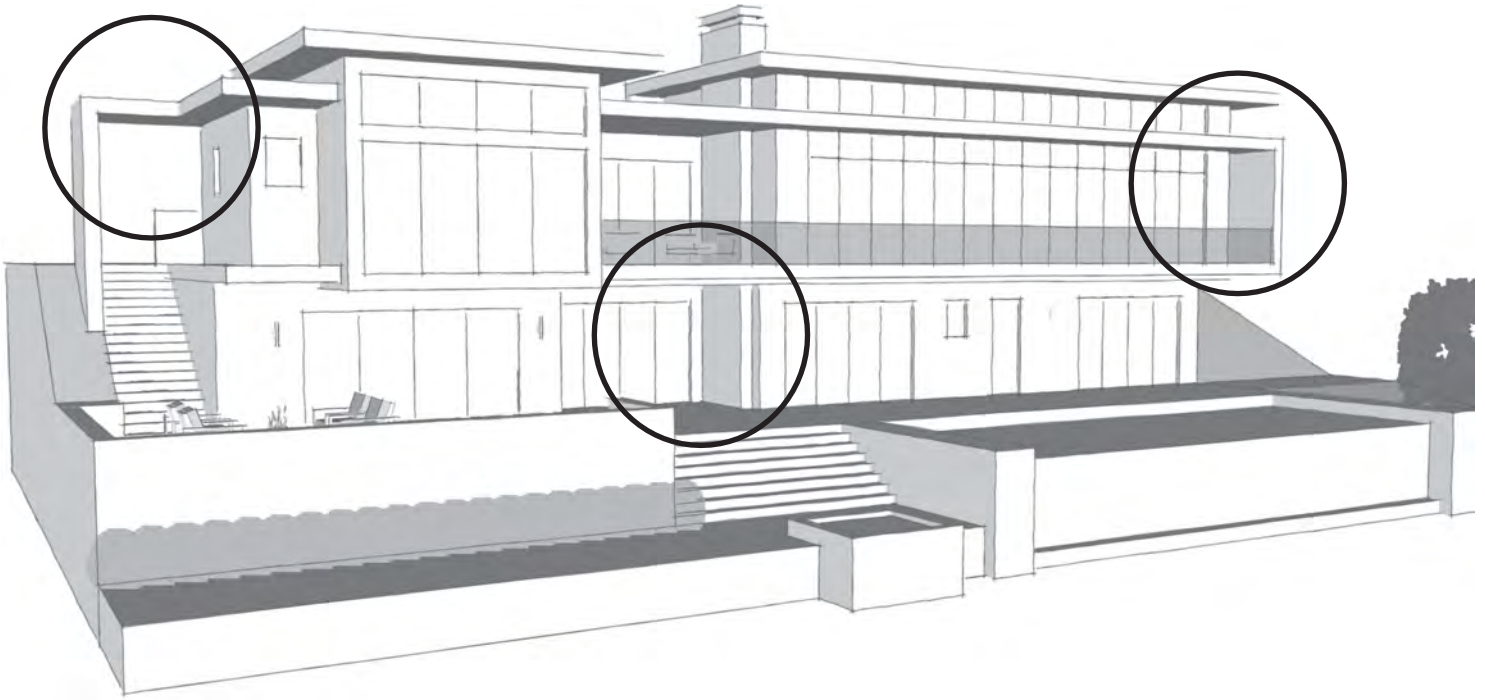
UNIQUE EXTERIOR FEATURES

Unique exterior features—such as entries, gates, glazing, railings, stairs, roof decks, enclosures, shade structures, pools, spas, fireplaces, and water features—must be integral to and complement the home's design. Approval requests must include detailed design information in both Preliminary and Final Submittals (see Section 5).

Guidelines:

- **Fireplaces:** Outdoor fireplaces or fire pits must be gas-fuelled.
- **Art & Fountains:** Must match Design Guideline standards for colour, material, and lighting, subject to DRC approval.
- **Pet Structures:** Dog runs are generally not permitted. All pet structures require DRC approval and must be screened from public and neighbouring views.





BUILDING FORM

Building massing should be wide and shallow to suit steep slopes and maximize views, with simple forms and a clear horizontal break between levels. Homes may be up to two storeys, with taller roof accents over primary rooms, and should integrate seamlessly with retaining walls and terraces.



EXTERIOR FORM

Buildings should feature simple geometries, clean horizontal lines, and a strong connection to the landscape.



SIMPLE GEOMETRIES

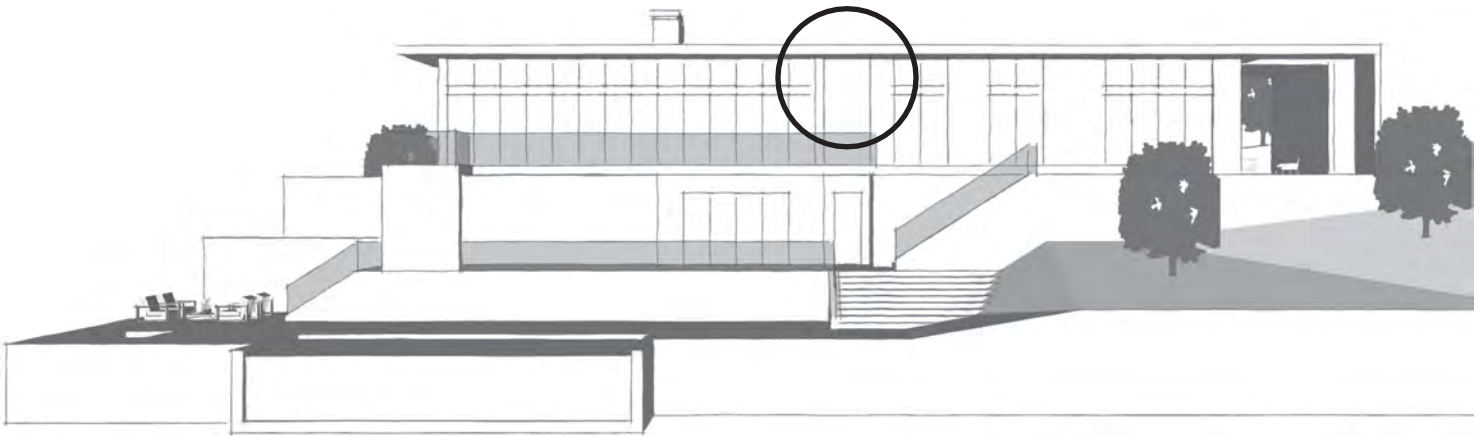
Building forms should be simple, emphasizing horizontality with clear divisions between floors.



ASYMMETRY

Secondary asymmetry is encouraged to create flow and informality in the neighborhood.





3

ARCHITECTURE

ROOFS

Roofs are key to community character and require careful design. Flat and low-slope shed roofs are encouraged, while pitched roofs need DRC approval. Deep overhangs and parapet roofs are preferred for variety; shallow overhangs may be used on sides or with trellises and canopy roofs for shading.



FLAT / SHED

Flat and Shed roof forms are strongly encouraged. The wide horizontal building forms should appear to hug the ground and should not feel excessively tall.

Steeply sloped shed roof forms are not permitted.



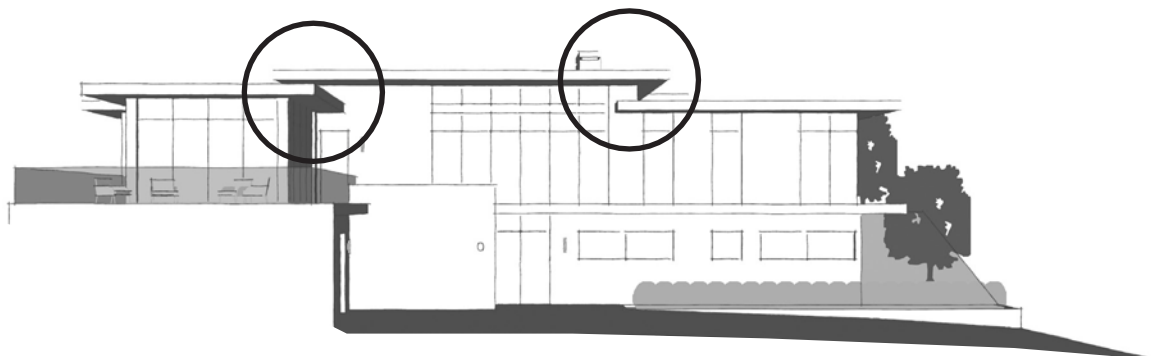
LAYERED ROOF FORMS

Layered roof forms add variety, and their intersections should be carefully designed for balance and visual appeal.



DEEP OVERHANGS

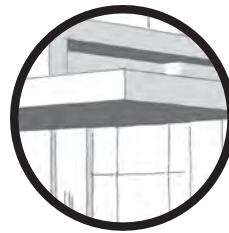
Overhangs offer shade, weather protection, and connection to the landscape.





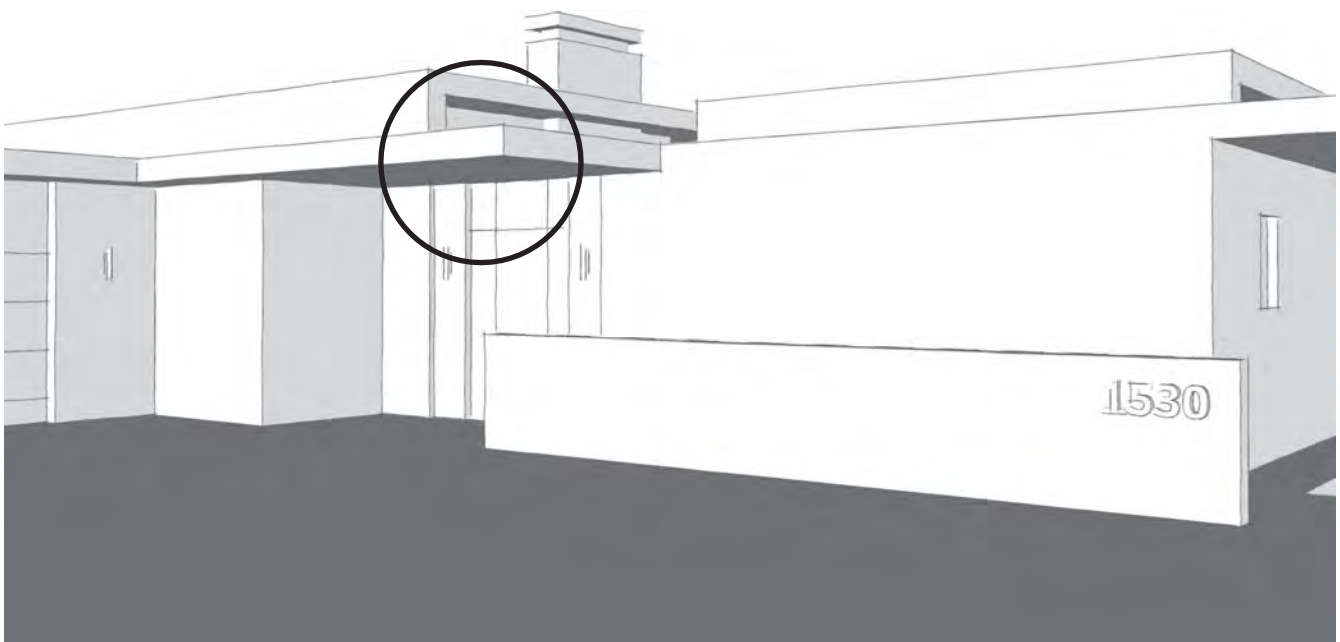
ROOF MATERIAL, COLOUR + SLOPE

For flat or low-slope roofs, torch-on with gravel ballast or green roofs are encouraged, with gravel tones matching the landscape. Low-slope, non-reflective metal shed roofs are permitted; standing or batten seam designs with matte finishes and 22–26 gauge metal are preferred. Tile and wood shake roofs are not allowed. Roof colours must follow the Design Guidelines palette (p.34) and be DRC-approved.



ENTRY CANOPY

Flat Roof Canopies are encouraged to create a sense of transition into the home.



COVERED OUTDOOR SPACE

The entry to a Portfolio 1530 home marks the threshold between public street and private living. Homes are designed for indoor-outdoor living, with canopies, trellises, and projecting roofs creating sheltered transitions. Covered outdoor rooms extend living spaces for lounging, dining, and cooking, while decks, terraces, and balconies strengthen connections to the landscape.

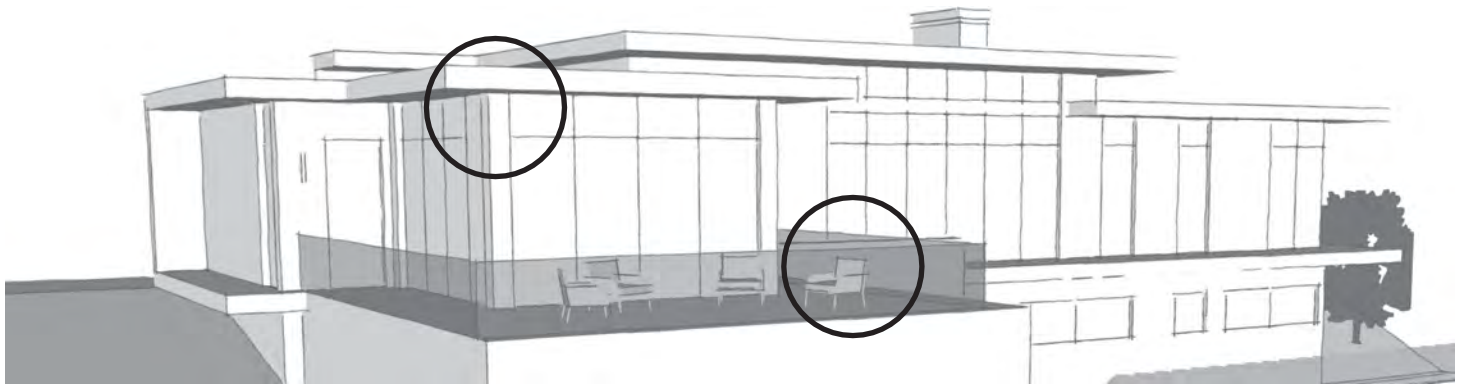
Each home should create a sense of journey, with layered transitions through courtyards, garden walls, and screens that enrich the entry sequence. These spaces should feature varied textures and materials, while maintaining a smooth grade into the main floor to ensure a welcoming, seamless approach.



SHADE

Shaded spaces provide comfort in all weather and enhance indoor-outdoor living.





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ARCHITECTURE

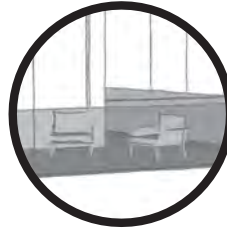
COVERED TERRACES, DECKS + BALCONIES

Covered terraces, decks, and balconies must be integral to the building design, creating outdoor “rooms” that extend indoor living and capture natural breezes and views. Their form, proportion, materials, and finishes must align with the home’s architecture and receive DRC approval. Special consideration is required where visible from adjacent homesites or the public realm, and all outdoor furniture, including umbrellas, must complement the building’s colour scheme.



WOOD ELEMENTS

Simple exposed wood columns, beams, and soffits are encouraged to connect roof forms with nature.



OUTDOOR SPACES

Generous indoor-outdoor spaces support lounging, dining, and cooking, with retractable openings for seamless connections.





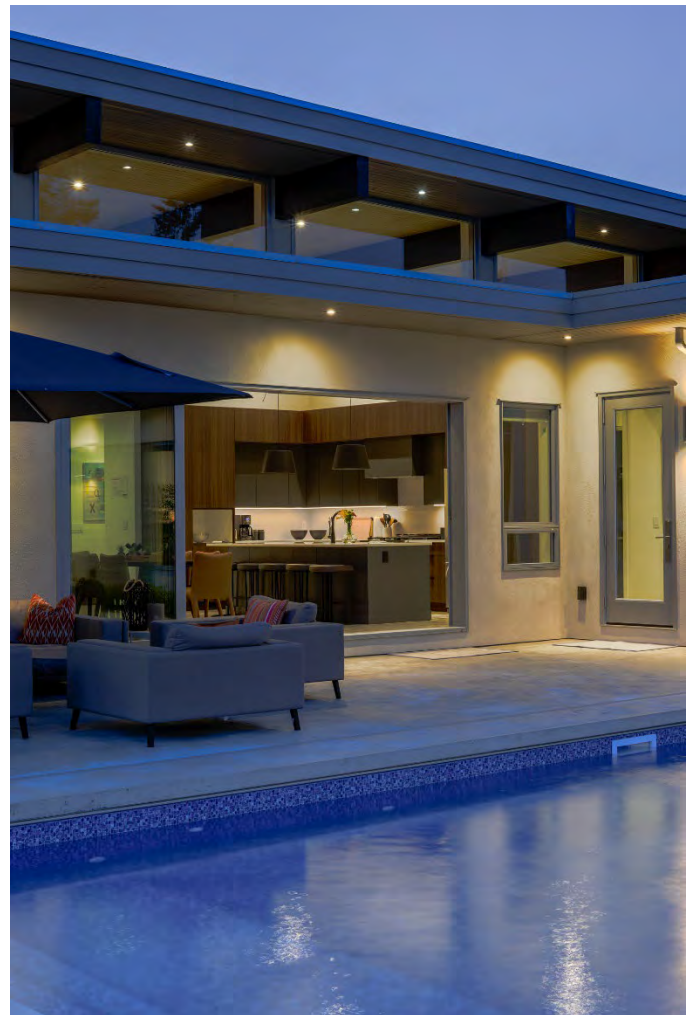
OPENINGS (WINDOWS + DOORS)

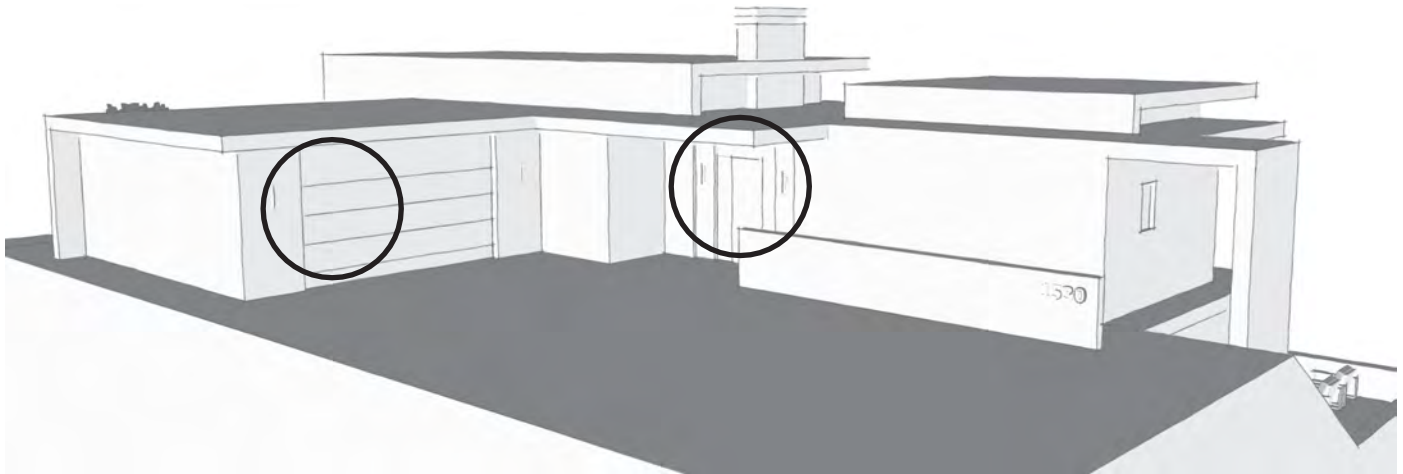
Careful consideration should be given to all openings on the Portfolio 1530 homes. Openings are an integral part of the architectural composition and expression of the building.

Primary doors and windows shall be protected wherever possible under canopies or extended roof overhangs.

The use of shading devices, deep overhangs and deep window recesses are encouraged.

Windows shall not cause objectionable glare at any time, day or night.





DOORS

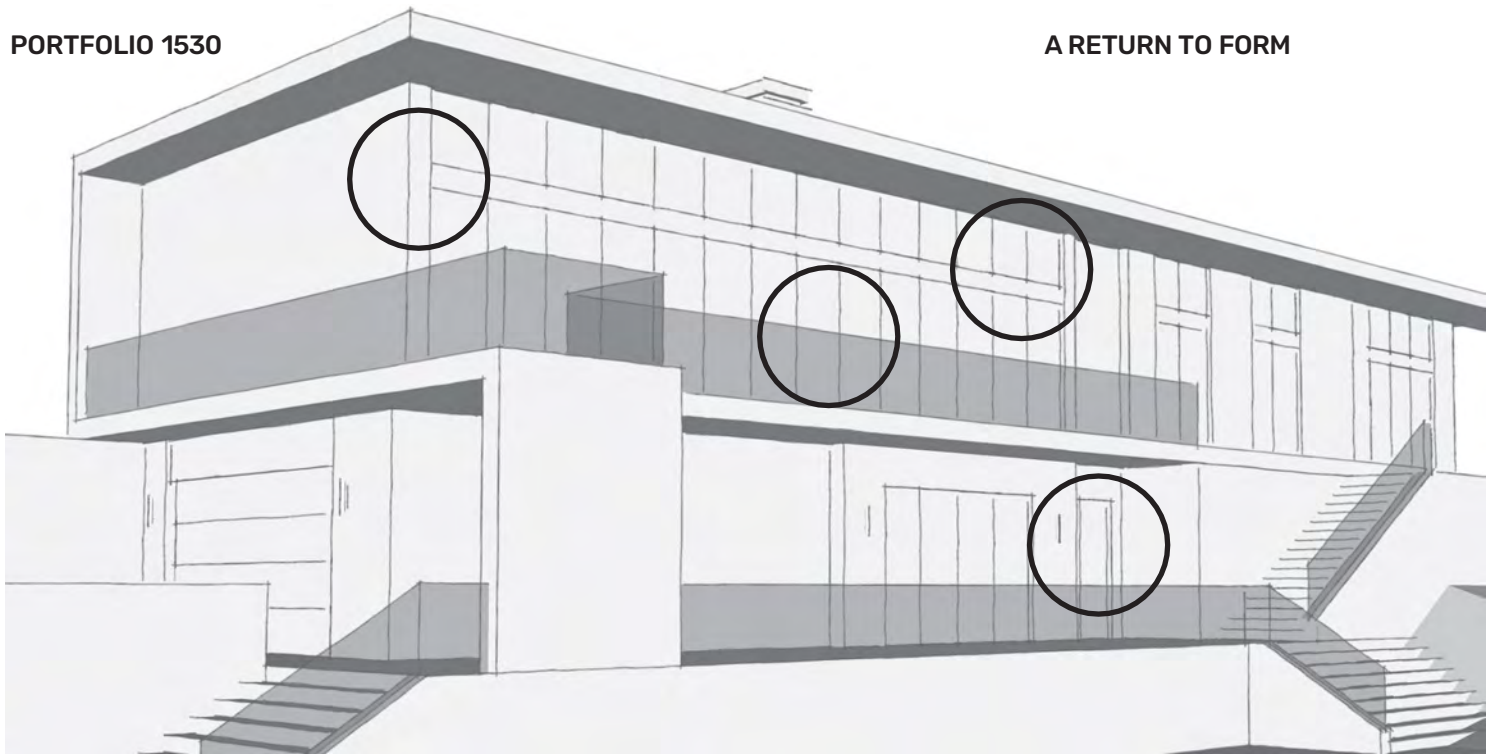
Entry doors should contribute to a welcoming entry experience. Glazing in doors or sidelights is encouraged to reveal the interior rather than form a solid barrier.



GARAGE DOORS

Garage doors should be understated, complementing the home's form, style, and materials without dominating the street view. They must be contemporary, with careful attention to proportion, colour, and detail, and free of distracting ornamentation.





CLERESTORY WINDOWS

Clerestory windows are encouraged in taller volumes to complement vaulted ceilings and bring light from above. Their placement should enhance both home massing and interior light quality.



CORNER WINDOWS

Corner windows can capture views and add asymmetry to the facade.



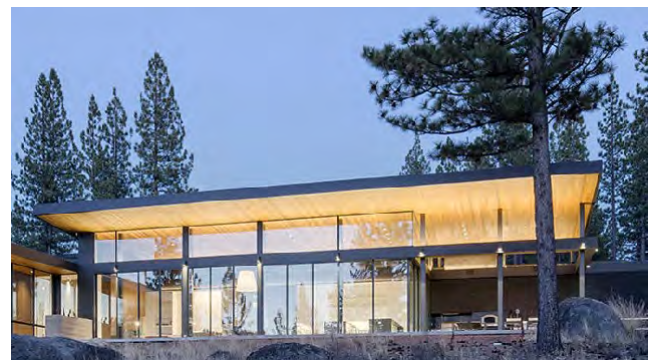
TALL WINDOWS

Tall windows should highlight key spaces like entries and main living areas. Glazing to the underside of beams, ceilings, and soffits is encouraged to reinforce a contemporary expression.

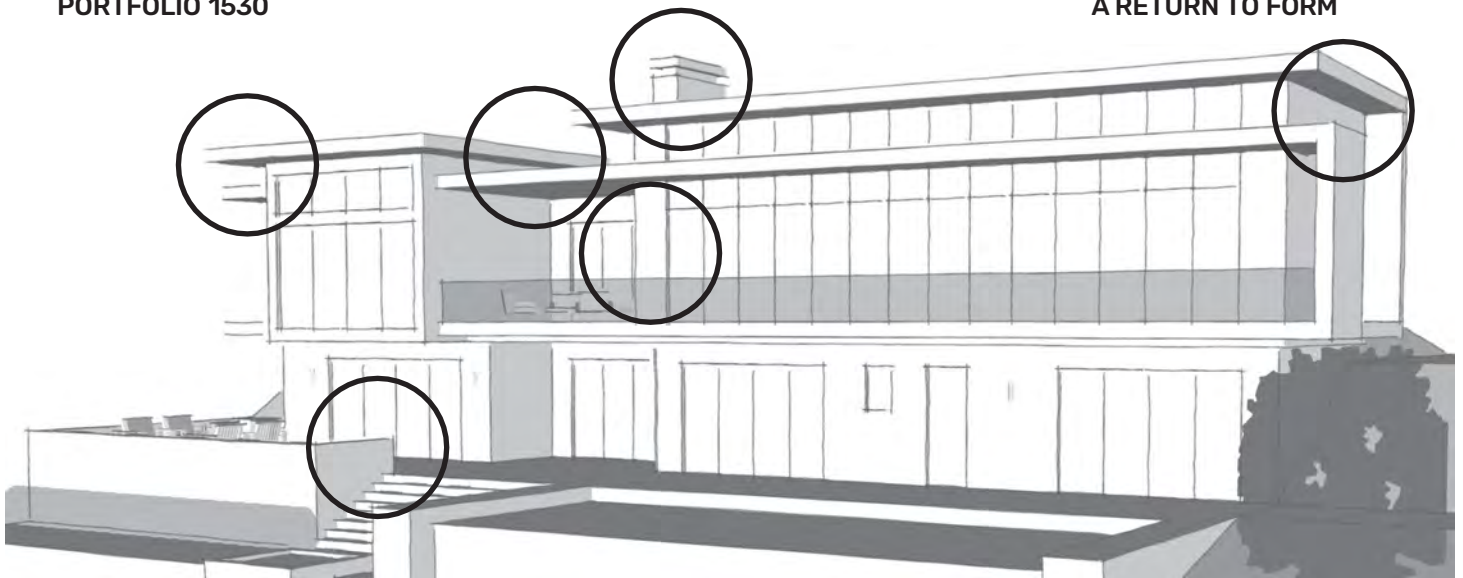


DECK OR TERRACE OPENINGS

Large openings with French, bifold, or sliding doors are encouraged to extend indoor spaces to outdoor living.







DETAILS



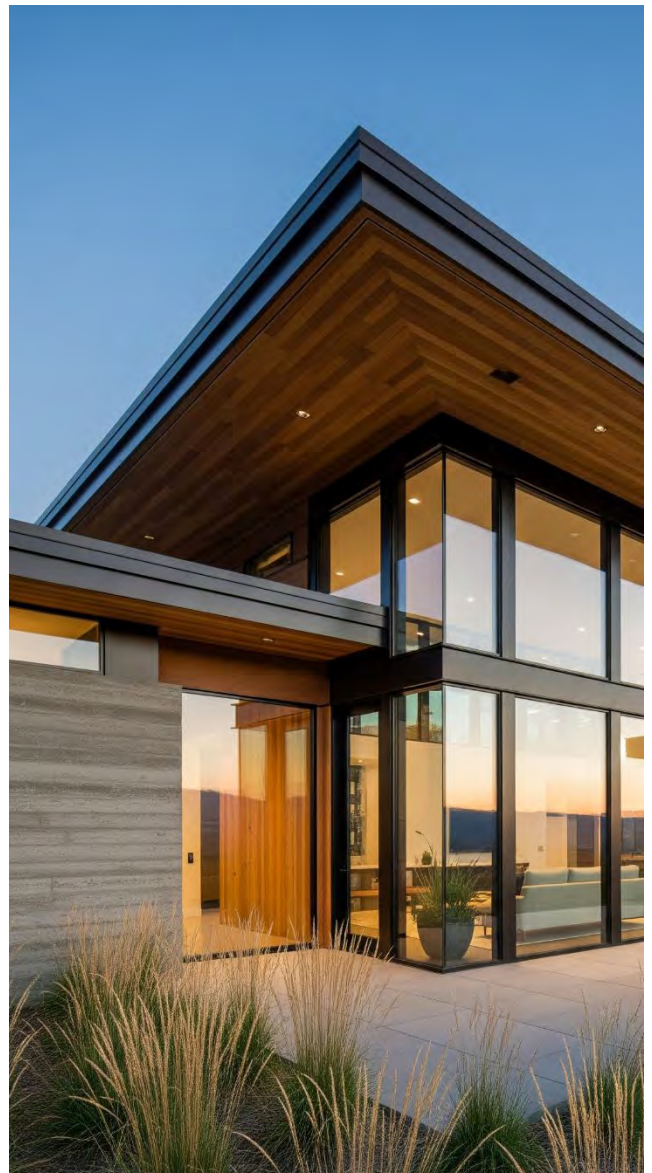
BUILDING PROJECTIONS

All projections—chimneys, vents, gutters, utilities, trellises, railings, and stairs—must be integrated into the home's design and match or accent the surface colour.



SOFFITS, FASCIAS + GUTTERS

Soffits must reflect the home's character and follow FireSmart BC guidelines. Natural wood is preferred; wood-grain aluminum is acceptable. Venting strips should be discreet, and fascias clean, contemporary, and well-detailed.





STONE ELEMENTS

Stone cladding, used as a contemporary accent, should wrap full volumes or elements to convey permanence and landscape connection. It is not permitted as a traditional base course.



FIREPLACES AND CHIMNEYS

Interior and exterior fireplaces are encouraged to reinforce indoor-outdoor living. Chimneys must be finished in stone, metal, concrete, or siding that complements the home's exterior with minimal trim and detailing.



EXTERIOR LIGHTING

Minimal exterior lighting is permitted, providing safety and usability without glare or night sky impact. Fixtures must be contemporary and clean in design.



ADDRESS WALL

Stone, metal, or concrete address walls may serve as key entry features.



RAILINGS & FENCING

Perimeter yard fencing is not permitted, except pool security fencing per regulations. Wood, metal, and glass are acceptable if they extend the home's architectural expression.



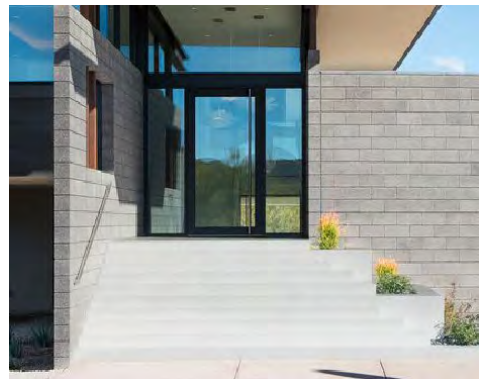
INTERIOR LIGHTING

Improperly designed bulkhead interior lighting can cause glare; fixtures should be downward-facing with concealed sources.



OUTDOOR STAIRS + LANDINGS

Stair risers and treads may be concrete, tile, stone, or wood. Courtyard and terrace floors may use concrete, brick, pavers, stone, tile, or exposed aggregate.



DECORATIVE ELEMENTS

Material, structure, and form should define the architectural character. Decorative elements such as gates, railings, and accents must remain minimal and complement the overall design.





HVAC SYSTEMS

HVAC and mechanical equipment must be screened from view, with sound attenuation to protect neighbors. Window-mounted AC units are not permitted.



ANTENNA AND SATELLITE DISHES

Antennae and satellite dishes visible from roads or public areas are prohibited unless DRC-approved.



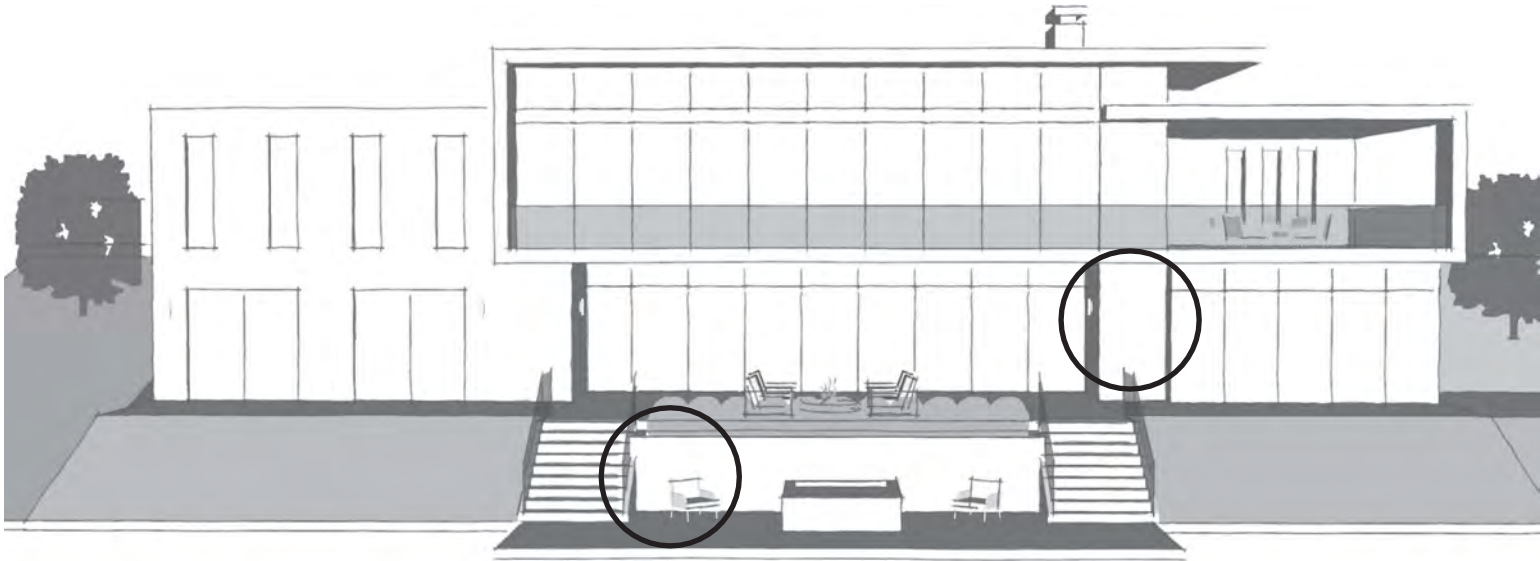
SKYLIGHTS

Skylights may be approved by the DRC if low-profile, roof-integrated, and screened to minimize glare, reflections, and night light.



HOME SECURITY SYSTEMS

Exterior security systems are permitted but must be concealed, preserve the building's design, and receive DRC approval before installation.



WALLS + MATERIALS



EXTERIOR WALLS

Wall cladding should align with the home's form and geometry, using a single material consistently on each volume from base to soffit or floor above to maintain a contemporary character.



BASE & FOUNDATION

The building base should anchor the home with materials reflecting natural colours and textures. Walls must use architectural concrete or cladding to grade, avoiding exposed foundations.



EXTERIOR FINISHES

All buildings shall use 2–3 complementary exterior materials. A refined palette is required to avoid overly complex treatments.

Exterior wall materials must express the architecture authentically and reinforce building forms, not appear applied or veneer-like.

APPROVED MATERIALS

- **Cement Board:** Appropriate finish/texture. Panels with metal or exposed joints not permitted.
- **Stucco:** Appropriate finish/texture. No exposed expansion joints.
- **Wood:** Appropriate finish/texture, must be durable. Wood soffits preferred. Refer to FireSmartBC Guides.
- **Masonry:** Must appear as thick, anchored walls, not veneer. Inconsistent transitions (e.g., masonry to stucco on one wall) not allowed.
- **Natural Stone:** Encouraged, preferably local. Must show authentic coursing, thickness (min. 4”), and natural earthy colour. Mortar must blend with stone. Flagstone patterns on walls not allowed.
- **Concrete:** Finish/texture to suit architecture; permitted as feature or accent. Board-form or finished concrete encouraged.
- **Metal:** Finish/texture must suit architecture; allowed as primary or accent cladding.

MATERIAL TRANSITIONS

Materials should wrap entire forms; changes must occur at interior corners, not outside corners or continuous faces.

PROHIBITED MATERIALS

Cement panels with metal/exposed joints, vinyl siding, and reflective glass or reflective siding.

All materials and colours require DRC approval.



COLOUR PALETTE

The colour palette shall be inspired by the site—earth browns, reds, sage greens, grassland yellows, and cool lake and sky tones of pale whites and greys.

Each building must use at least two complementary exterior colours, including trim and shading devices. Both light and dark tones are appropriate, while bold colours may be considered if harmonious with the landscape and neighbouring homes.

Highly reflective finishes are prohibited on exterior surfaces, including hardware. Glass may not be mirrored or tinted.

PAINT COLOUR PALETTE

All colours are subject to the approval of the DRC.





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PORTFOLIO 1530
LANDSCAPE
DESIGN
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LANDSCAPE DESIGN GUIDELINES

The landscape approach is rooted in respecting the site's natural character. Preserving existing trees, grasslands, understory, and rock outcrops is essential.

Within building envelopes, preservation is encouraged; outside, it is imperative. Disturbed areas should be re-vegetated with native and resilient, drought-tolerant species near homes to reinforce a sustainable strategy.

Hardscape features—driveways, terraces, walls—must respond to site conditions and minimize disturbance. Specific guidelines direct planting and material choices to ensure homesites blend seamlessly into the natural environment.

4



LANDSCAPE

LANDSCAPE PRINCIPLES

The landscape should be high-quality, seasonally sensitive, and primarily native, blending new construction into the surroundings. Hardscape must use natural materials and earth tones. Traditional lawns and ornamental plantings should be replaced with more sensitive, natural alternatives.

- Provide diverse open spaces that protect and enhance the natural landscape.
- Maximize valley, lake, and vineyard views while using vegetation and topography to screen between homes without blocking neighbours.
- Retain existing vegetation, especially mature trees, and use native, drought-tolerant plants; limit ornamentals to patios and courtyards.
- Address microclimate factors—sun, shade, rain, wind—and seasonal needs such as snow storage.
- Ensure safety and accessibility with proper tread ratios, handrails if needed, and non-slip materials.
- Site homes near conifers to reduce roof needle fall; prune trees to limit fire spread.
- Avoid flammable materials in planting beds.
- Use only flame-resistant plants near structures.



COURTYARDS + TERRACES

Hardscape should create smooth transitions between buildings, outdoor rooms, and the natural landscape, incorporating existing features where possible. Limit paving materials for a unified design. Permitted: stone or concrete pavers, gravel, coloured and scored concrete. Prohibited: asphalt, railway ties, landscape ties, and unscored concrete.

TRANSITIONAL LANDSCAPE EDGES

Homesites must integrate with the larger landscape and include transitional design at street edges or between neighbouring sites.

PRIVATE YARDS + TERRACES

Private open space may include patios or courtyards. Courtyards should be separated from common areas with low screens, walls, hedges, or grade changes. Patios should be divided by walls, screens, or planting up to 2 m (6'6") high and may include upgraded walls, planters, or paving.



LAWNS + TURF GRASS

Natural grass and lawn areas are permitted but limited to a maximum of 2,000 sq.ft. per homesite. All grass and lawn must be irrigated with underground systems to ensure efficient water use. Artificial turf may be considered; however, it must be restricted to locations not readily visible from adjacent homesites or the public realm. Both natural and artificial turf must be regularly maintained, kept clean and tidy, and free of weeds, debris, and odors.

LANDSCAPE SITE PLANNING

Landscape plans must align with site grading and drainage. Avoid planting on slopes steeper than 2:1, which are hard to irrigate and maintain. Plans must account for plant growth and maintenance needs. Rainwater should remain on-site through permeable surfaces, swales, terraces, cisterns, or other approved drainage methods, reducing off-site runoff and irrigation demand.

LANDSCAPE REMEDIATION

Improvements requiring disturbance beyond the Development Zone need DRC approval. Disturbed areas must be remediated promptly, with DRC-approved irrigation to establish transitional planting. Removed trees must be replaced at a minimum 2:1 ratio.



4

LANDSCAPE

LANDSCAPE WALLS



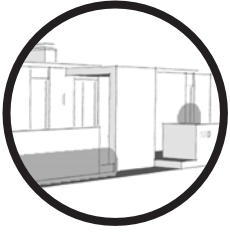
Walls should anchor homes in the landscape, manage grade, and create terraces or patios. Maximum height is 1.2m (4'), using architectural concrete, boardform, natural stone, or gabion baskets with on-site stone. Lower 450mm (18") walls, 500mm wide, are encouraged for variety, seating, and retaining. Materials must complement the home and blend with the environment.



ADDRESS PANEL

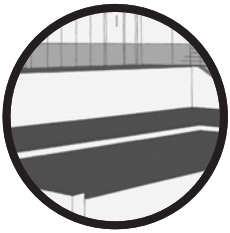
Address numbers may be placed on the home or a stone/concrete wall, with colours and textures consistent with the approved palette. Fasteners must be powder-coated or galvanized. Low-voltage, downcast lighting may illuminate numbers. Style, size, and placement require DRC review.





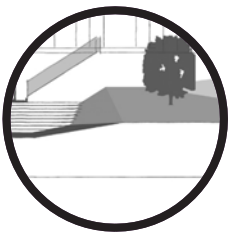
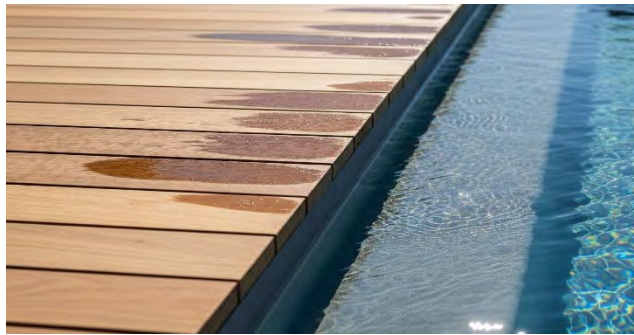
FENCING / PRIVACY SCREENS

Perimeter fencing is not permitted. Limited fencing or privacy screens may be allowed if integrated with the home and landscape, built from high-quality materials, and approved by the DRC.



DECKING

Decking materials shall be of durable and sustainable product. Colour and texture to be complimentary to the architectural expression of the home.



GRAVEL

Gravel areas are encouraged as part of a xeriscape landscape approach. For larger areas, provide a mix of material such as gravel, river rock, bark mulch or basalt. Gravel should be of a 25mm (1 inch) minus clear crusher run granite with a minimum depth of 50mm (2 inches).



DECKS + STRUCTURES

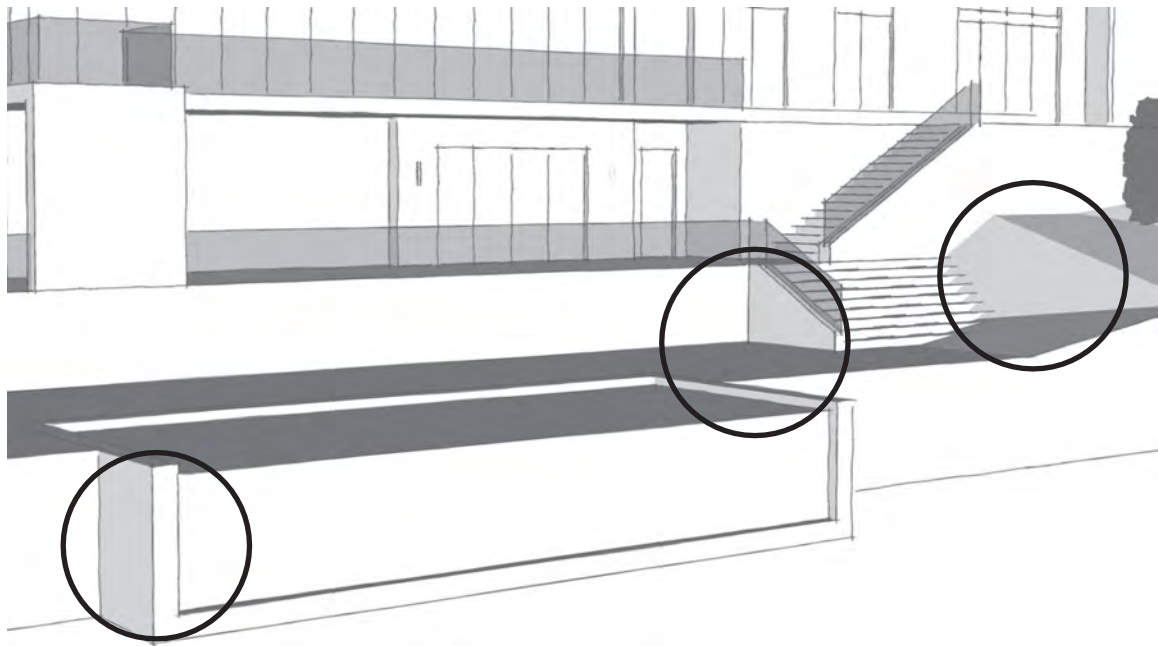
Large covered decks, gazebos, trellises, screens, and gates that extend the home's architecture are encouraged. These structures provide shade, reduce solar gain, and should match the home's style, materials, and colours.



SWIMMING POOLS, LAP-POOLS & HOT TUBS



Pools and hot-tubs must visually connect to the home with walls, courtyards, or landscaping. Lap-pools and hot-tubs are preferred; large above-ground pools are prohibited. Maximum height is 600mm (24") above patio grade, with colours from the approved palette. All must meet regulations, include barriers, have screened equipment rooms, and be approved by the DRC and a BC Licensed Geotechnical Engineer.



LANDSCAPE LIGHTING

Residential lighting may highlight addresses, gardens, structures, and stairs. It must be downcast, architecturally compatible, and use low-voltage LED or solar fixtures.



GRADE CHANGES / RETAINING

Retaining walls beyond the building envelope must be low, visually discreet, complement the homesite, and receive DRC approval.

SOFTSCAPE PLANTING

To protect and enhance the native habitat, preserve healthy plants—especially mature trees—while removing or rehabilitating stressed or diseased material.

PLANTING GUIDELINES

To protect natural habitat, plant species must be native and support pollinators like birds, bees, and butterflies.

Plantings should frame views of the natural landscape and use clusters of deciduous and evergreens for privacy screening.

Landscaping must rely on native or hardy, low-maintenance species, with ornamentals limited to private areas. Plants should be locally sourced when possible and layered to establish maturity quickly. Protect vegetation from snow storage, use hardy grasses in those areas, and prioritize deer-resistant species.

All plantings must follow FireSmart BC guidelines, the BC Landscape Standard, and require DRC approval. Early planting is encouraged for maturity by occupancy.

Refer to www.okanaganxeriscape.org for free online resources and plant database.

Refer to <https://firesmartbc.ca/resource/landscaping-guide/> for free online FireSmart Landscaping resources.



All landscaping materials installed must comply with the following minimum size standards, unless otherwise approved by Portfolio 1530.

- Deciduous trees: a minimum of 10 cm (4 in.) caliper and 3.6 m (12 ft.) high;*
- Evergreen trees: a minimum 3.0 m (10 ft.) high;*
- Shrubs and vines:
 - A minimum #7 pot or 1 m (40 in.) high for specimen shrubs.*
 - A minimum #5 pot for structural ('space defining') shrubs;
 - A minimum #2 pot for mass planted shrubs & vines

*Dependent upon plant species and availability

PROHIBITED & APPROVED PLANTS

To ensure integrity of natural habitat, plant species shall be controlled and adhered to. A list of recommended plant species, including native or non-native appropriate hardy species are outlined in Planting Palette Section.

Under no circumstances shall any plant material not on the approved list be used unless approval is given by a Portfolio 1530 landscape representative.

MAINTENANCE & IRRIGATION

Installation of appropriately designed, fully automated, underground irrigation systems, as per the British Columbia Landscape Standard, shall be required as a means to maintain landscape health during dry months.

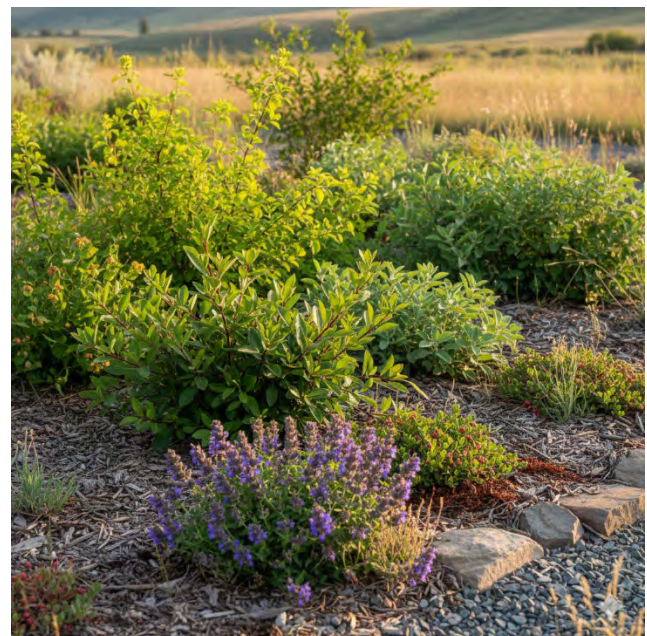
The owner shall be responsible for the replacement of diseased or damaged plant materials, and the maintenance of common areas - including strata roadside boulevards, where applicable.

Maintenance for newly established landscapes shall focus on producing healthy plant growth toward desired mature forms and increase in size.



SUSTAINABILITY FEATURES

Restoring native landscapes is key to sustainability. Planting xeriscape, hardy, drought-tolerant species will create a resilient landscape that adapts to changing climate conditions. Off-site drainage is not permitted; rainwater collection and on-site storage are encouraged to reduce stormwater and irrigation demands. Swales, permeable materials, and systems such as cisterns or rain barrels will help achieve these goals



PLANTING PALETTE

The planting palette is based on preserving Mountain Forest and Native Grassland ecosystems, while incorporating suitable native and non-native trees, shrubs, and grasses. The following list offers examples for use in the neighbourhood.

Trees

Deciduous

- Acer glabrum
(Douglas Maple)
- Amelanchier alnifolia Saskatoon
Serviceberry (Native)
- Populus tremuloides
(Quaking Aspen)
- Betula occidentalis
(Water Birch)
- Quercus macrocarpa
(Bur Oak)
- Quercus garryana
(Garry Oak)
- Prunus virginiana
(Chokecherry)
- Crataegus douglasii
(Black Hawthorn)

Conifers

- Pinus flexilis
Limber Pine (Native)
- Pinus ponderosa
(Ponderosa Pine)
- Pinus strobiformis x flexilis
(Southwestern White x
Limber Pine hybrid)
- Pseudotsuga menziesii var.
glauca (Interior Douglas-Fir)
- Juniperus scopulorum
(Rocky Mountain Juniper –
upright form or weeping)
- Abies lasiocarpa
(Subalpine Fir)
- Larix occidentalis
(Western Larch)
- Populus nigra
(Black Poplar)



Shrubs

- Amelanchier alnifolia
Saskatoon (Native)

Arctostaphylos uva-ursi
Kinnickinnick (Native)

Caryopteris x
clandonensis 'Dark
Night' Blue Beard

Ceanothus sanguineus
Red Stemmed Ceanothus (Native)

Ceanothus velutinus
Snowbrush (Native)

Shepherdia canadensis
Buffaloberry (Native)

Crataegus douglasii
Black Hawthorne, May Tree

Eunymus alatus 'Compactus'
Burning Bush

Holodiscus discolor
Ocean Spray (Native)

Cotinus coggygia
Royal Purple
- Lavandula angustifolia
English Lavender

Mahonia aquifolium
Oregon Grape (Native)

Potentilla Fruticosa (Shrubby
Cinquefoil, Native)

Philadelphus lewisii
Mock orange (Native)

Physiocarpus opulifolius "Diablo"
Ninebark

Perovskia atriplicifolia 'Little Spire'

Ribes aureum (Golden Currant, Native)

Rosa Woodsii
Wood's Rose (Native)

Spiraea x bumalda 'Anthony Waterer'
Meadowseed

Spiraea betulifolia (Birchleaf Spirea,
Native)



Ground Cover / Grasses

Arctostaphylos uva-ursi 'Massachusetts'
Kinnickinnick

Achnatherum hymenoides
Indian Rice Grass (Native)

Bouteloua Gracilis
Blue Grama

Calamagrostis x acutiflora
Karl foerster reed grass' Karl Foerster'

Calamagrostis x acutiflora

Variegated feather reed grass 'Avalanche'

Calamagrostis x acutiflora
Overdam feather reed grass 'Overdam'

Cerastium tomentosum
Snow in Summer

Deschampsia cespitosa
Tufted hair grass

Deschampsia cespitosa
Gold dew tufted hair grass 'Goldtau'

Deschampsia caespitosa

Bronze veil tufted hair grass
'Bronzeschleier'

Elymus cinereus
Great Basin Wild Rye (Native)

Festuca cinerea 'Elijah Blue'
Elijah Blue Fescue

Helictotrichon sempervirens
Blue oat grass

Leymus condensatus
Giant Wild Rye

Miscanthus sinensis 'Adagio'
Dwarf maiden grass

Miscanthus sinensis purpurascens
Flame grass

Miscanthus sinensis 'Gracillimus'
Maiden grass

Miscanthus sinensis
Variegated maiden 'Morning light' grass

Thymus
Creeping thyme



Perennials

Achillea filipendulina
Moonshine yarrow
'Moonshine'

Alchemilla mollis
Lady's mantle

Anemone pulsatilla
Pasque Flower

Amsonia hubrichtii cultivar
Amsonia Butterscotch

Artemisia frigida
Pasture Sage

Aster x frikartii 'Monch'
Frikart's aster

Astilbe x arendsii 'Cattleya'
Astilbe cattleya

Coreopsis verticillata 'Moonbeam'
Moonbeam coreopsis

Echinacea 'Big Sky Harvest Moon'
Big sky harvest moon coneflower

Hylotelephium telephium
Sedum Autumn Joy

Gaillardia aristata
Indian Blanket Flower

Kniphofia uvaria
Red Hot Poker

Rudbeckia hirta
(Black-eyed Susan)

Penstemon pseudospectabilis
Desert Beard tongue

Pervoskia atriplicifolia 'Filigran'
Filigran Russian Sage





5

PORTFOLIO 1530

DESIGN REVIEW
PROCESS

DESIGN REVIEW PROCESS

In order to assist the Owner in maximizing the homesite's unique opportunities, a comprehensive design review process has been established which is divided into the following seven phases:

1 CONCEPTUAL DESIGN SUBMITTAL

- Conceptual sketches and/or massing studies.
- General Site Layout – include approximate Building Envelope, Disturb Area and ENDA.
- **Outcome** – Advisory feedback (non-binding) to guide form and character.

2 SCHEMATIC DESIGN SUBMITTAL

- Site Plan showing grading, drainage and footprint.
- Floorplans, elevations, sections and roof plan.
- Exterior materials and colour samples (palette).
- Landscape Plans, pools, patios, walls, retaining.
- Staking – DRC may require building envelope and certain features surveyed onsite.
- **Outcome** – Approval (or revisions), may proceed to Building Permit App. with City.

3 PERMIT REVIEW

- Ensure approved Building Permit conforms to Schematic Design.
- Final construction set and final materials.
- **Outcome** – Approved to start construction.

4 CONSTRUCTION

- Form Locate and Elevation Verification submitted to DRC for conformance.

5 FINAL INSPECTION

- Verify home completed as per DRC approved design.
- On-site photos or walkthrough may be required.
- **Outcome** - Letter or Acceptance from DRC (or list of deficiencies)

1. CONCEPTUAL DESIGN SUBMITTAL

The Conceptual Design Submittal is a required first step in the review process. At this stage, the Owner and their design team must prepare early sketches or massing studies that illustrate the proposed siting, scale, and orientation of the home. A general site layout must identify the approximate Building Envelope, Disturb Area, and Environmental No-Disturb Area (ENDA). The intent is to ensure the home is thoughtfully positioned in response to site topography, views, and natural features before detailed design work begins. The DRC will provide advisory, non-binding feedback at this stage to guide the home's form and character. A Compliance Deposit is required at the time of initial submission and will be held by the Developer until the Final Inspection is complete.

2. SCHEMATIC DESIGN SUBMITTAL

The schematic package is the most critical stage of review and must present a complete picture of the home and site development. Submissions shall include the following:

- **Site Plan** – showing the building footprint, driveway layout, grading, and contours.
- **Stormwater & Drainage Plan** – detailed drawings demonstrating how runoff will be managed in accordance with these Guidelines.
- **Septic Plan** – prepared by a qualified professional, showing the proposed system and field layout.
- **Architectural Plans** – including floorplans, elevations, sections, and roof plan.
- **Exterior Materials & Colours** – samples from the approved palette.
- **Landscape Plan** – identifying pools, patios, retaining walls, site walls, and other landscape structures.

The DRC may also require staking or surveying of the Building Envelope or other features to confirm accuracy.

3. PERMIT REVIEW

The Owner must submit the City-Approved Building Permit package to the DRC to confirm compliance with the approved schematic design. This includes the final construction set, exterior material specifications, and any details relevant to the design approval.

The DRC's review is limited to these Design Guidelines and does not extend to City bylaws, zoning, or building codes. Approval at this stage authorizes the Owner to proceed with construction. As a best practice, Owners may submit permit drawings to the DRC before City submission to confirm compliance; however, a final review is still required after City approval and before construction begins.

4. CONSTRUCTION

During construction, the Owner or Builder must provide the DRC with a Form Locate and Elevation Verification, prepared by a surveyor, confirming siting and heights relative to the approved design. The DRC may also conduct site visits to monitor compliance. If construction deviates from approved plans, the DRC may issue a stop-work order. The Owner must then submit a formal change order, which may or may not be approved, and work may not resume until written approval is granted. This ensures all homes are built in full compliance with the approved design.

5. FINAL INSPECTION

Once construction is complete, the Owner must notify the DRC to schedule a final inspection. The DRC will verify that the home, landscaping, and improvements are consistent with the approved design, which may involve a site walkthrough and photographs.

If compliant, a Letter of Acceptance will be issued. If deficiencies are found, the DRC will provide a written list to be corrected before final acceptance. The Final Inspection closes the review process and confirms the home aligns with the overall character and vision of the community. Upon Final Acceptance, the Compliance Deposit will be returned to the Owner, less any deductions for deficiencies, non-compliance, or costs incurred by the Developer as outlined in the Guidelines and Contract of Purchase and Sale.

COMPLIANCE WITH DESIGN GUIDELINES

No building or improvement may be constructed without the DRC's prior written approval, which will confirm compliance with the Guidelines. The DRC reserves the right, at its discretion, to modify, waive, or exempt any requirement, provided such approval is given in writing.

A Security Deposit of \$15,000 shall be collected at the start of the process and held until Final Inspection, with return subject to compliance as outlined in the Purchase and Sale Agreement. Design review fees shall be determined by the DRC and provided at the start of the process.

PROFESSIONAL DESIGN SERVICES

The Owner is required to retain a Preferred Designer/Architect, for the design of any Building or Improvement within the Homesite.

The use of a Landscape Architect or Designer is recommended to ensure design quality and integration with the natural setting, though not required.

The Owner is also required to retain a Preferred Builder for the construction of the home and site improvements.

NON-WAIVER

Approval by the DRC of any plans or specifications shall not be construed as a waiver of the right to withhold approval of any subsequent or revised plans or specifications. The failure of the DRC to enforce any standard or requirement set forth in these Guidelines shall not be deemed a waiver of such standard or requirement, nor of the right to enforce it thereafter.

EXEMPTIONS

Utility and maintenance buildings or similar structures located within the Homesites may be exempt from the Guidelines. The DRC will endeavour to attain as high a level of conformance with these standards as is practical for these types of structures.

STATEMENT OF NON-LIABILITY

All plans and specifications approved by the DRC are reviewed solely for compliance with these Design Guidelines and are not reviewed for engineering, structural, architectural, or code compliance. Approval by the DRC does not imply or confer any assurance as to the technical adequacy of the plans.

The DRC, the Developer, and their affiliates, directors, officers, employees, and agents shall have no liability to any Owner, Builder, or other party for any loss, damage, or claim arising from:

- The approval or non-approval of any plans or specifications; or
- The construction, performance, or results of any work, whether or not based on approved plans and specifications.

The Owner shall be solely responsible for ensuring that all plans, specifications, and construction comply with all applicable laws, bylaws, codes, and professional standards.

COMPLIANCE WITH GOVERNING AUTHORITY

All submissions to the DRC must comply with the City of Penticton Bylaws, the BC Building Code, Fire Code, Electrical Code, and any other applicable regulations or covenants. The DRC's review is limited to compliance with these Design Guidelines and does not confirm, verify, or guarantee compliance with any governing authority.

The Owner shall be solely responsible for ensuring that all plans, specifications, and construction comply with all applicable laws, bylaws, codes, and covenants, and for obtaining all required permits and approvals.

DEVELOPER, OWNER/ BUILDER RELATIONSHIP

The contractual relationship for construction rests between the Owner and their chosen Builder. The Owner is fully responsible for the actions, conduct, and performance of their Builder and any subcontractors. Any violation of the Design Guidelines or approved plans by a Builder will be deemed a violation by the Owner.

The Developer assumes no responsibility for the Builder's performance, scheduling, workmanship, or compliance with governing codes. However, the Developer and the Design Review Committee (DRC) reserve the right, at their sole discretion, to enforce these Guidelines and associated remedies directly with the Owner and/or Builder. Such enforcement may include written notices, stop-work orders, or other measures deemed necessary to maintain compliance with the approved design intent and community standards.

REMEDIES FOR NON-COMPLIANCE

If the DRC determines that an Owner has not complied with the approved Final Design Submittal or these Guidelines, it may issue a written Non-Compliance Notice specifying the required remedy and timeline. Failure to comply may trigger the Developer's rights and remedies under the Contract of Purchase and Sale, including, without limitation, forfeiture or deduction of the Compliance Deposit, as well as any additional rights available at law or in equity. These remedies are cumulative and may be exercised concurrently.

The Owner acknowledges that non-compliance may cause irreparable harm not compensable by monetary damages alone. Accordingly, the Developer shall be entitled to seek equitable relief, including injunctions or restraining orders, to enforce compliance. All costs and expenses incurred by the Developer, including legal fees on a solicitor-and-client basis, shall be payable by the Owner on demand and may be deducted in whole or in part from the Compliance Deposit.

If non-compliance is not remedied within the timeline specified, the DRC may issue a stop-work order during construction or withhold Final Acceptance at project completion until full compliance is achieved.

The Owner shall remain solely responsible for ensuring compliance with all applicable laws, bylaws, codes, covenants, and professional standards, regardless of any review or approval by the DRC.





PORTFOLIO 1530
CONSTRUCTION
GUIDELINES

CONSTRUCTION GUIDELINES

To protect adjacent properties and ensure orderly development, the following construction guidelines shall be included in each homesite's construction contract. All Builders and Owners are bound by these guidelines, and any Builder violation shall be deemed a violation by the owner.



GENERAL DAMAGES

The Owner and Builder shall be solely responsible for any damage caused to neighbouring properties, common areas, utilities, roads, or natural features as a result of construction activities. The DRC and Developer assume no liability for such damage. All repair costs shall be borne by the Owner and Builder, and the Developer may deduct such costs from the Compliance Deposit without prejudice to any other remedies available at law or in equity.

CONSTRUCTION TRAILERS, PORTABLE FIELD OFFICES

Owners or Builders must obtain DRC approval before placing any construction trailer, field office, portable toilet, or trash receptacle on a homesite. The site plan must show proposed locations, all within homesite boundaries. Temporary structures must be removed at completion of construction. Overnight accommodation is not permitted.

CONSTRUCTION FENCING

Prior to work, Builders shall install fencing to define the Building Envelope or Development Zone. Fencing shall consist of 1.5 m "T" posts with yellow flagging and a 3 m (10') dust/hoarding fence enclosing the site, with a single access point at the road entrance. Fencing must follow the approved plan, be maintained throughout construction, and removed upon completion. Failure to install or maintain fencing may result in a stop-work order.

CONSTRUCTION SIGNAGE

A temporary, free-standing construction sign is required and must be approved by the DRC for design and location within the homesite. Signs shall include a project rendering, designer/architect name, and general Builder name and contact number. All signage must be removed before Owner occupancy.

GRADING AND EXCAVATION

All grading and excavation must comply with the approved site grading and drainage plans submitted at Schematic Design Review. Work shall minimize disturbance beyond the Development Zone, follow natural contours, and protect adjacent landscapes. Cut and fill near top-of-bank areas must be staked and flagged, and stormwater managed to prevent runoff or sediment leaving the site.

Unauthorized grading or drainage changes may result in corrective action required by the DRC before work resumes.

EXCAVATION MATERIALS

All excavation activities must comply with the approved drainage plan submitted at Schematic Review. Excavation shall not undermine the stability of roads, parks, bluffs, ravines, or neighbouring properties. Appropriate temporary and permanent earth-retention measures must be provided. Temporary drainage patterns must be monitored to prevent erosion or sediment entering neighbouring lands or storm drains. All excavation material must remain within the homesite boundaries; any spillage on roads, sidewalks, or adjacent sites must be removed immediately. Excess material must be hauled away unless the Developer designates an approved stockpile area.

EROSION CONTROL

During construction, erosion and runoff must be controlled on all exposed cut or fill slopes using stabilization, drainage control, and re-vegetation. Temporary ponding, swales, or engineered measures must be consistent with the stormwater and drainage plans approved at Schematic Review. Work should be suspended during heavy rains. All disturbed topsoil shall be stockpiled, stabilized to minimize dust, and reused in landscaping unless removal is approved by the DRC.

BLASTING

Blasting or rock hammering requires all necessary permits and surveys from the governing authority. Copies must be forwarded to the DRC for record only. All blasting activities must comply with applicable government regulations. The DRC has no authority over blasting, and responsibility rests solely with the Owner, Builder, and governing jurisdictions. In no case shall blasting impact neighbouring improvements, utilities, walls, or structures.

SITE CLEANLINESS

Owners and Builders must keep homesites and adjacent strata roadways clean and orderly during construction. Each site must provide a garbage bin, emptied regularly, with all materials deposited directly inside. Lightweight items must be secured to prevent blowing, and dumping, burying, or burning garbage on-site is prohibited. No debris may be stored on neighbouring properties. Messy sites will receive a written notice; if not cleaned within one week, the Developer may arrange cleanup and charge the Owner, with costs deductible from the Compliance Deposit. Periodic street cleaning or snow clearing may be undertaken by the Developer, with costs shared among homesites under construction. Surplus dirt or debris must be promptly removed or neatly stored. Repeated violations may result in a stop-work order until compliance is achieved.

DUST + NOISE

Builders are responsible for controlling dust, noise, and music from the site, in compliance with the City of Penticton Good Neighbour Bylaw. A protocol with the Developer must be established before construction to minimize community impacts. Roads must be washed daily if dirt or debris is left behind.

CONSTRUCTION ACCESS

Construction access is permitted only via the approved driveway within the homesite, unless an alternative is specifically approved by the DRC. Generally, no more than one access point will be allowed per site.

A Construction Site Plan may be required to be submitted for DRC review, showing:

- Access point and stabilized entry with wash-down area
- Location of toilets, trailers, fencing, and staging areas
- Parking, generators, and safety stations

All elements must remain within the Homesite boundaries and be maintained for the duration of construction.

WORKING HOURS

Construction is limited to 7:00 am–7:00 pm daily, unless otherwise specified by the DRC or City of Penticton.

VEHICLES + PARKING AREAS

Construction crews may not park on other homesites or in natural open space. All private vehicles, construction equipment, and machinery must be parked within the homesite or in DRC-designated areas.

TRAFFIC FLOW

The Builder must coordinate deliveries to keep public roads open and protect roads, curbs, sidewalks, and utilities, in compliance with the City of Penticton Subdivision Bylaw and other regulations. Road closures are not permitted.

SPEED LIMITS

30km/h speed limit is to be obeyed throughout the site.

POWER GENERATORS

Builders must use temporary power poles; generators are prohibited unless specifically approved by the DRC. All equipment operation, fuel use, and storage must comply with government regulations.

SANITARY FACILITIES

Builders must provide adequate sanitary facilities for workers. Portable toilets or similar units must be located within the homesite in DRC-approved areas.

COMMON COURTESY

Construction impacts on neighbours must be minimized. Builders are responsible for managing parking, toilet placement, crew pets (leashed at all times), radios, and may not borrow power, water, or telecom from neighbouring properties. Courtesy to neighbours is required at all times.

As per WorkSafe BC, no pets are permitted on the site during construction.

CONSTRUCTION PRIORITY

Public roads, services, and amenities take priority over homesite construction. Builders must coordinate access with the Developer during infrastructure work.

RESTORATION OR REPAIR OF OTHER PROPERTY DAMAGES

Construction must not damage neighbouring property, including natural areas, landscaping, roads, utilities, or improvements. Any damage must be promptly repaired at the Owner's expense, with costs deductible from the Compliance Deposit.

CONSTRUCTION MATERIALS

Work sites must remain orderly and clean, with materials secured against wind and moisture, and stored safely in an organized, visually unobtrusive manner.





PORTFOLIO



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EKISTICS

Appendix A

Design Guideline Check List

General

- ☐ Compliance Deposit of \$15,000 submitted.
- ☐ Design fees paid.
- ☐ Preferred Designer/Architect engaged.
- ☐ Preferred Builder retained.
- ☐ (Optional) Landscape Architect engaged.

Site Development

- ☐ Home and improvements located within approved Building Envelope and Development Zone.
- ☐ Environmental No Disturb Areas (ENDAs) preserved; disturbance only with DRC approval.
- ☐ Easements, rights-of-way, and covenants respected.
- ☐ Site drainage plan prepared by registered professional and approved.
- ☐ Grading minimizes cut/fill, follows contours, and prevents runoff onto adjacent properties.
- ☐ Geotechnical report prepared by BC Licensed Engineer.
- ☐ Pools, hot-tubs, and recreational equipment comply with DRC and government requirements.
- ☐ Exterior service areas (garbage, HVAC, tanks, etc.) screened from public and neighbors.

Appendix A

Design Guideline Check List

Architecture

- ☐ Building footprint \leq 3,000 sq.ft. or \leq 30% site coverage.
- ☐ Height \leq 10.5 m (34'6") and \leq 2 storeys (3 only if DRC-approved).
- ☐ Roof design flat/low-shed, deep overhangs, non-reflective finishes, and approved color.
- ☐ Exterior walls use 2–3 complementary materials

No prohibited finishes (vinyl, aluminum, cultured stone, etc.)

- ☐ Stone cladding wraps full volumes, not base-course only.
- ☐ Windows/doors positioned to avoid glare and support FireSmart shading.
- ☐ Garage doors understated and integrated.
- ☐ HVAC/mechanical units screened and acoustically treated.
- ☐ Antennas/satellite dishes hidden unless DRC-approved.
- ☐ Skylights low-profile and roof-integrated.
- ☐ Security systems concealed and DRC-approved..

Appendix A

Design Guideline Check List

Landscape

- ☐ Landscape plan aligns with grading/drainage; slopes $\leq 2:1$ where planted.
- ☐ Plantings primarily native, drought-tolerant, FireSmart, and deer-resistant.
- ☐ Ornamental/non-native plants limited to patios/courtyards.
- ☐ Early planting encouraged for maturity by occupancy.
- ☐ Required minimum plant sizes met (trees, shrubs, grasses, perennials).
- ☐ No prohibited plant species used.
- ☐ Irrigation system automated and compliant with BC Landscape Standard.
- ☐ Transitional landscape edges at streets and neighboring sites.
- ☐ Courtyards/patios separated by screens, hedges, or walls ≤ 2 m.
- ☐ Landscape structures (trellises, decks, gazebos) integrated with home.
- ☐ Fencing only for pools or privacy; must match architecture and be DRC-approved.
- ☐ Pools and hot-tubs ≤ 600 mm above grade, approved colors, screened equipment, and DRC + Geotechnical approval.
- ☐ Residential lighting downcast, low-voltage LED/solar, and limited to addresses, paths, and features.
- ☐ Retaining walls ≤ 1.2 m stepped; taller walls layered; materials match architecture

Appendix A

Design Guideline Check List

Design Review Process

- ☐ Conceptual Design Submittal with sketches, massing, ENDA, and Development Zone marked.
- ☐ Schematic Design Submittal with full site plan, grading, drainage, septic, architecture, materials, and landscape.
- ☐ Permit Review package submitted after City approval (and optionally before City submission).
- ☐ Construction Form Locate and Elevation Verification provided by surveyor.
- ☐ Final Inspection scheduled; deficiencies corrected before Letter of Acceptance.

Appendix A

Design Guideline Check List

Construction

- ☐ DRC approval for construction trailers, toilets, and signage (incl. rendering, designer & builder).
- ☐ Fencing installed: 1.5 m T-posts, yellow flagging, and 3 m hoarding fence with single access.
- ☐ Blasting/rock hammering conducted only with governing authority permits; DRC notified.
- ☐ Excavation and erosion controls installed per approved drainage/stormwater plan.
- ☐ Homesite and roads kept clean, garbage bins on-site, debris secured, no dumping/burning.
- ☐ Dust, noise, and music controlled; compliance with City Good Neighbour Bylaw.
- ☐ Construction access via approved driveway only; site plan may be required.
- ☐ Working hours 7:00 am – 7:00 pm daily.
- ☐ Vehicles parked within homesite or DRC-designated areas.
- ☐ No damage to neighboring property; repairs at Owner's expense.
- ☐ Materials stored neatly, protected from weather, visually unobtrusive.
- ☐ Portable toilets located only within homesite, DRC-approved location.
- ☐ Courtesy maintained (pets prohibited, radios controlled, no borrowing services).
- ☐ Compliance with Developer priority for public infrastructure works.

Appendix B

Tips to FireSmart Your Home

Tips to FireSmart Your Home

Taking action to FireSmart your property will dramatically decrease the risk of wildfire damaging your home. The best part is, it's surprisingly easy to do.

Clean under your deck to remove any combustible material. Establish a 1.5 metre non-combustible zone around the perimeter of the house and deck.

Clean and maintain gutters and roofs. Keep decks and balconies clear of leaves and debris.

Keep grass and weeds cut below 10 centimetres.

Have a wildfire evacuation plan and make sure everyone in your household knows what to do.

Download the FireSmart home assessment and do a self-assessment of your home and property.

Hold sheds and other structures to the same standards as your home.

Relocate propane tanks 10-30 metres from your home, and keep combustible vegetation a minimum of 10 metres from propane tanks.

Move firewood and lumber 10-30 metres away from home.

Prune trees to create a two-meter clearance from the ground to the lowest branches.

Add non-combustible 3 millimetre screens to external vents (except dryer vents).

Reduce the flammability of your landscaping and plant wildfire resistant vegetation. [Learn landscaping.](#)

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Learn more at [FireSmartBC.ca](https://www FiresmartBC.ca)